

EXHIBIT A

11TH & PARK RD. NW



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11th STREET & PARK RD.

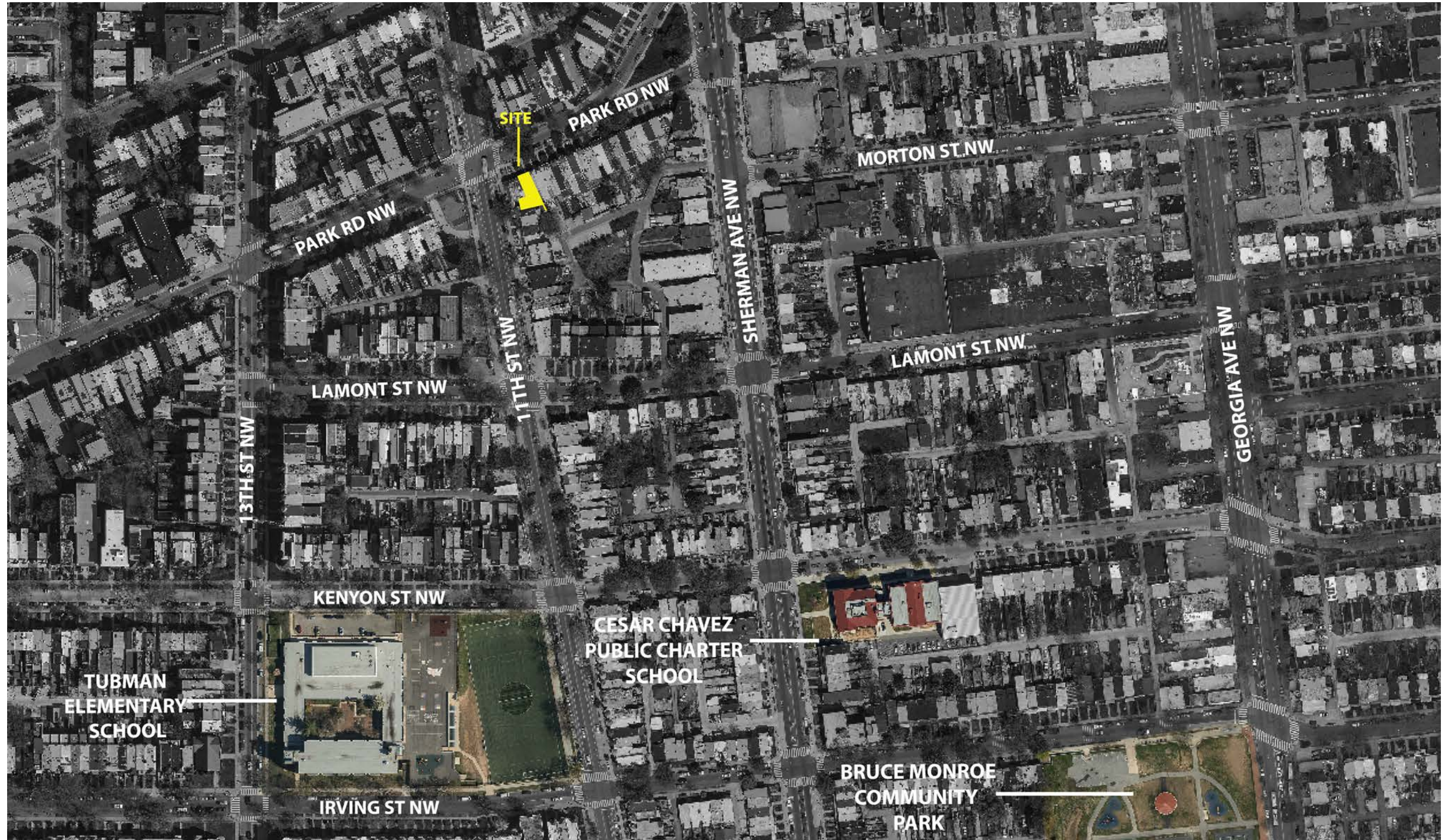
11th and Park Road NW
 Washington DC 20010
 Square: 2841 Lot No: 95,96,98 & 99 Zone: MU-4



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COVER SHEET | A-00

11/14/18



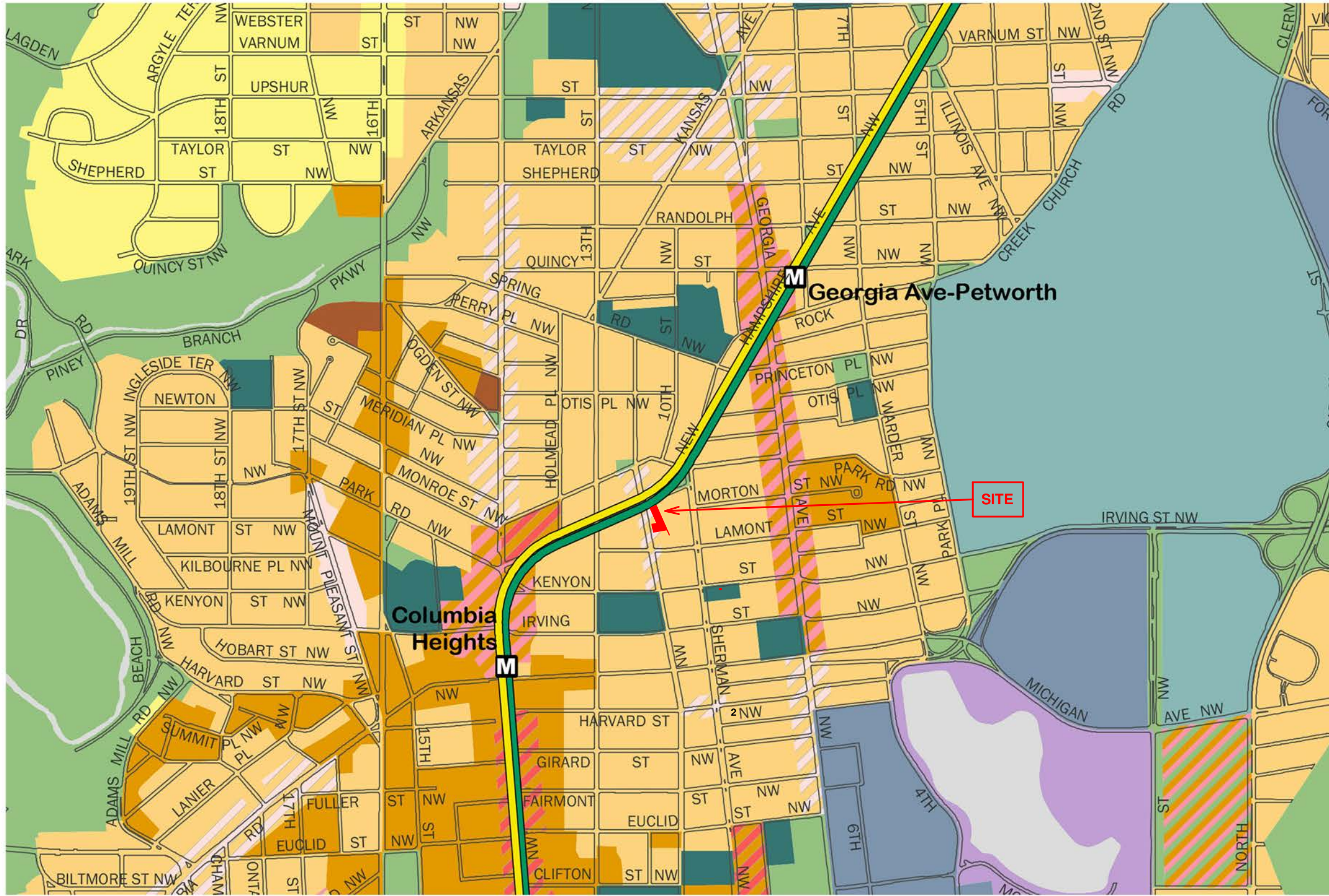
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VICINITY PLAN | A-01

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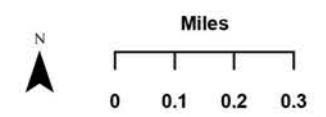
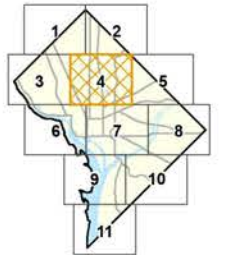


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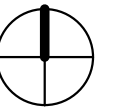
**Comprehensive Plan
Future Land Use
Map 4**

- Low Density Residential
- Moderate Density Residential
- Medium Density Residential
- High Density Residential
- Low Density Commercial
- Moderate Density Commercial
- Medium Density Commercial
- High Density Commercial
- Production, Distribution, and Repair
- Federal
- Local Public Facilities
- Institutional
- Parks, Recreation, and Open Space
- Mixed Land Use
- WATER



Government of the District of Columbia
Office of Planning ~ January 2013

This map was created for planning purposes from a variety of sources. It is neither a survey nor a legal document. Information provided by other agencies should be verified with them where appropriate.



11th STREET & PARK RD.

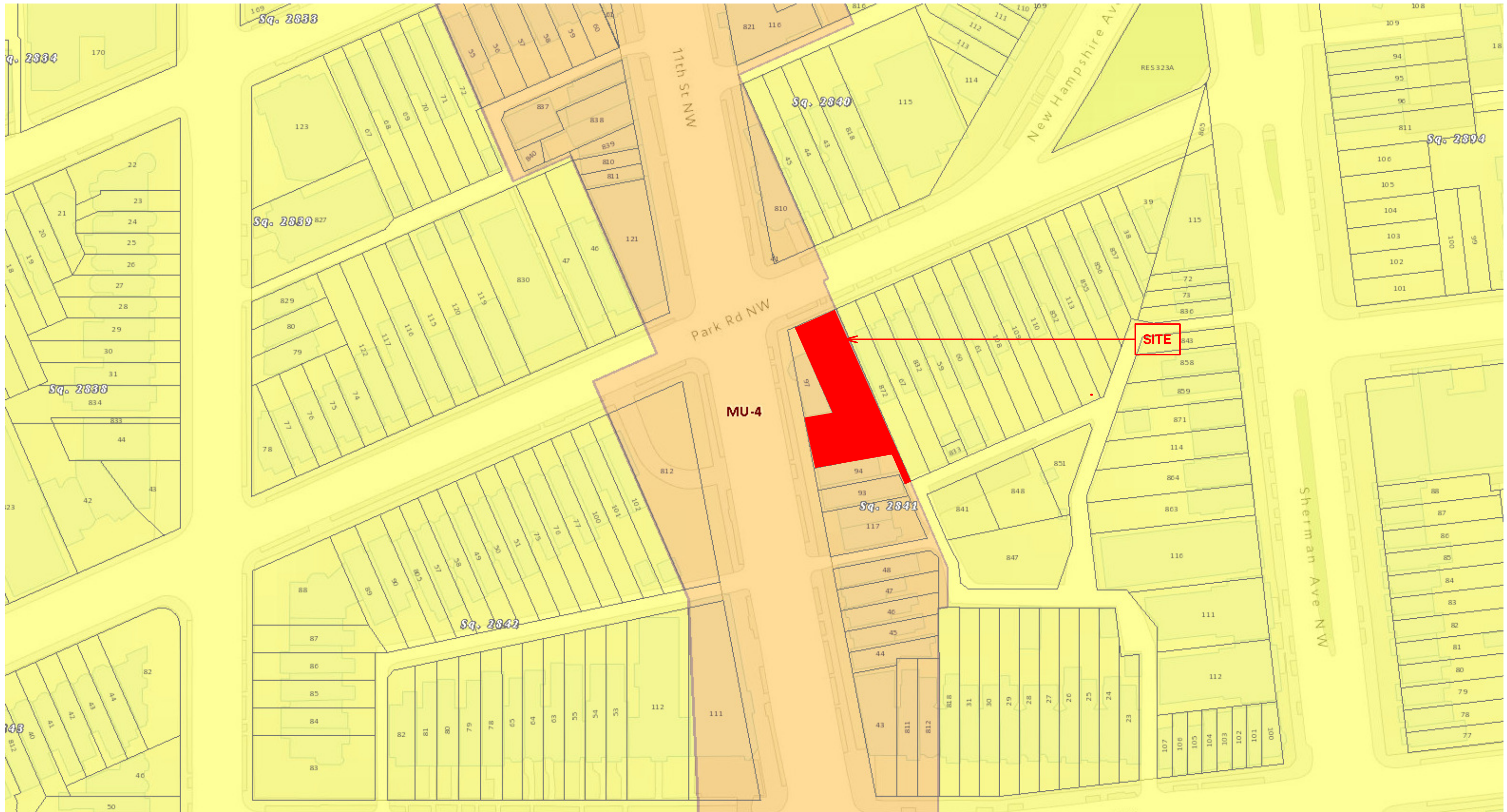
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COMPREHENSIVE PLAN | A-02

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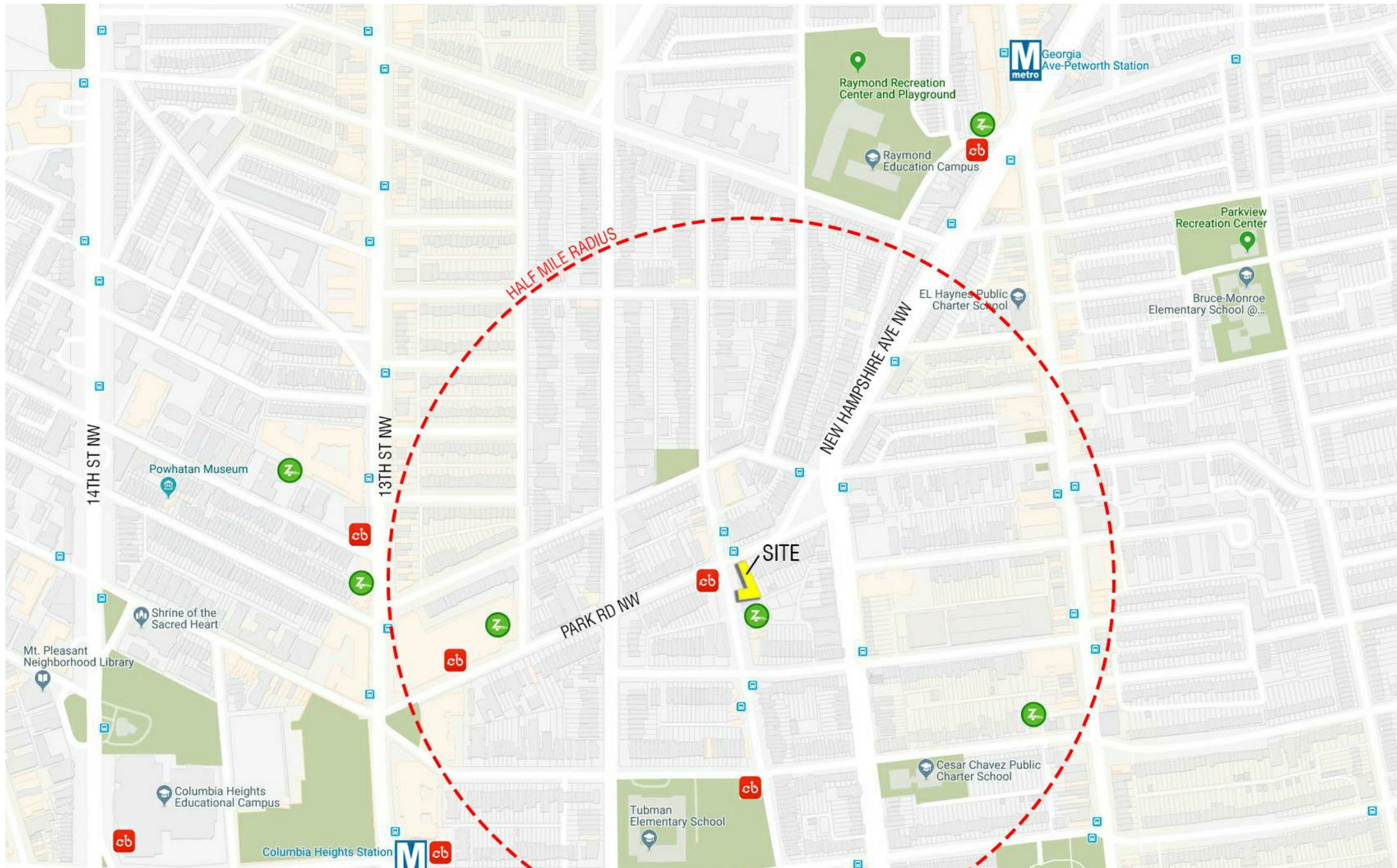
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ZONING BOUNDARY MAP | A-03

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BUS STOP 
 ZIPCAR 
 CAPITAL BIKESHARE 
 METRO STATION 

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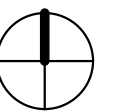
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VEHICULAR CIRCULATION | A-04

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AERIAL VIEW | A-05

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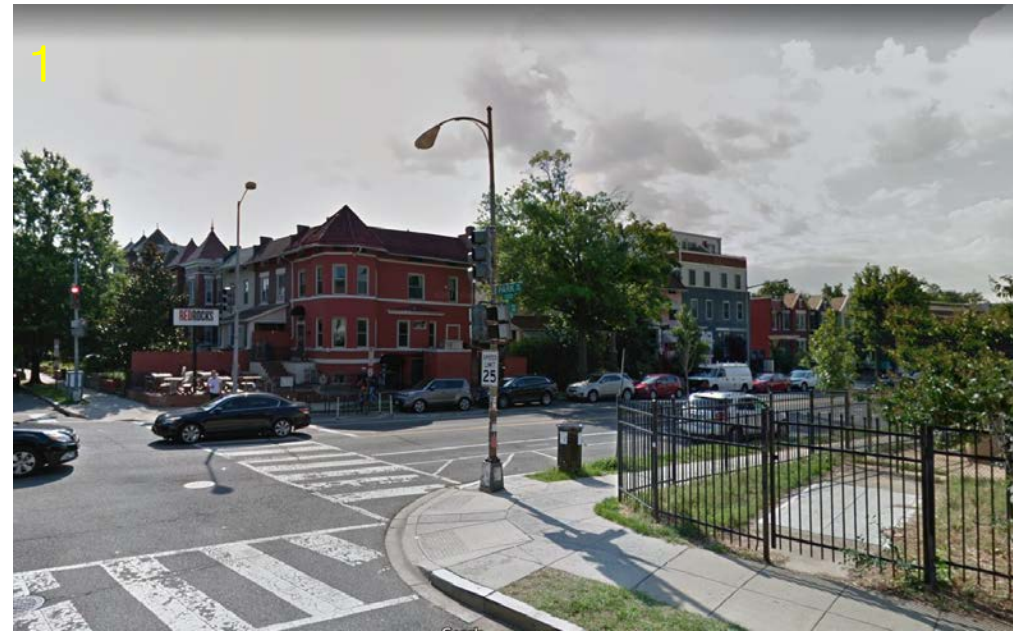
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PERSPECTIVE AERIAL VIEWS | A-06

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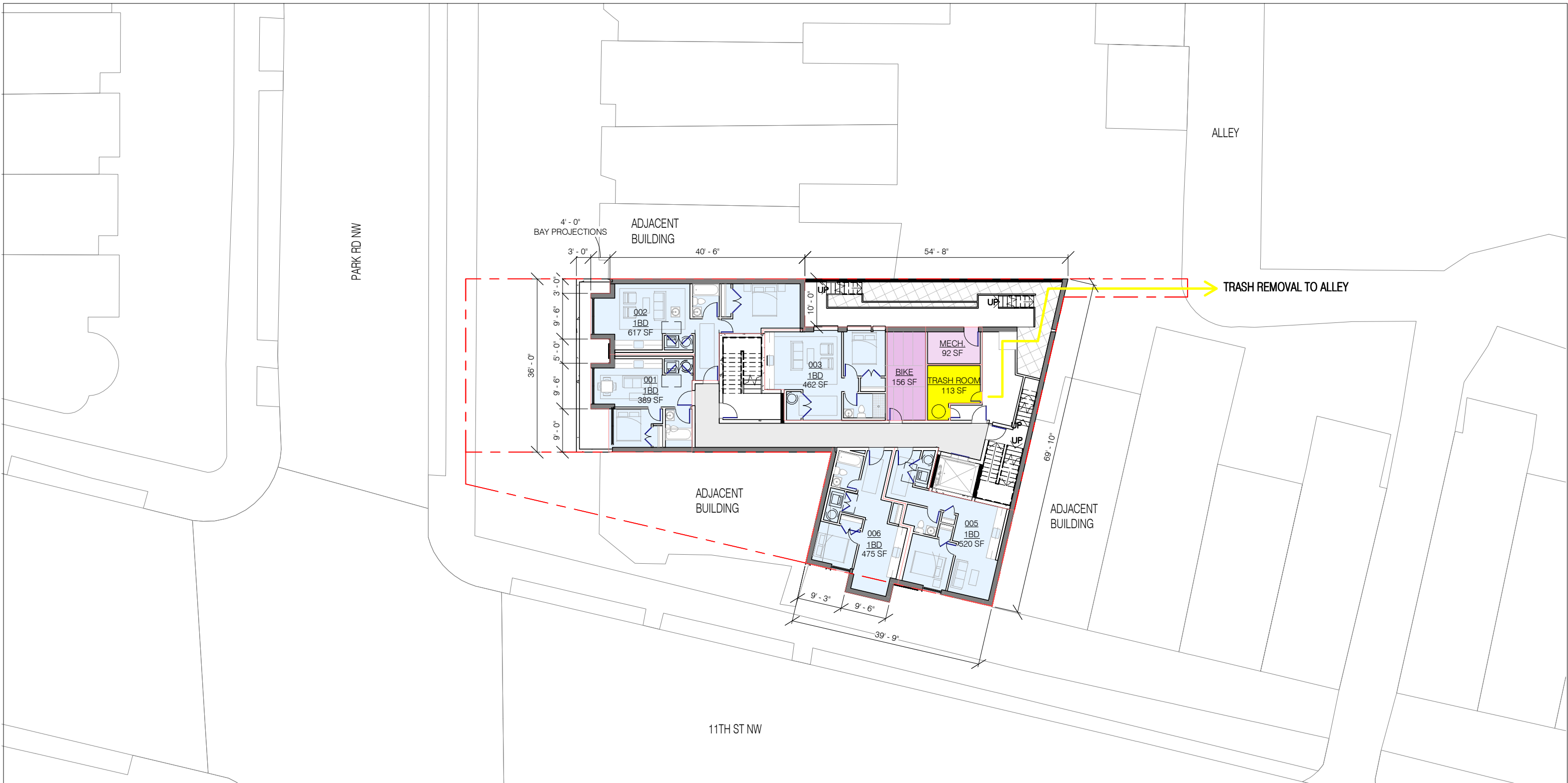
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PERSPECTIVE AERIAL VIEWS | A-07

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KEYPLAN

 1BD	 MECH.	 Calculating...
 BIKE	 TRASH ROOM	

0 20' 40' 80'


SCALE 1"=20'-0"



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CELLAR FLOOR PLAN | A-08

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KEYPLAN

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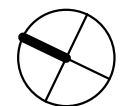
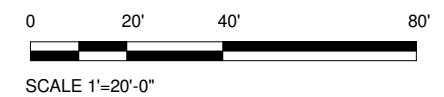
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FIRST FLOOR PLAN | A-09

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PARK RD NW

ALLEY

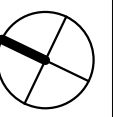
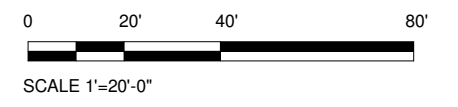
ADJACENT BUILDING

ADJACENT BUILDING

ADJACENT BUILDING

11TH ST NW

KEYPLAN



11th STREET & PARK RD.

SECOND - THIRD FLOOR PLAN | A-10

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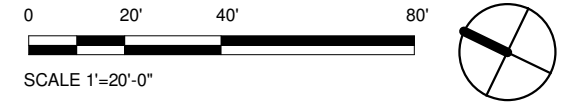


KEYPLAN

1BD

2BD

Calculating...



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FOURTH FLOOR PLAN | A-11

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KEYPLAN


1BD
 2BD
 Calculating...



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PENTHOUSE FLOOR PLAN | A-12

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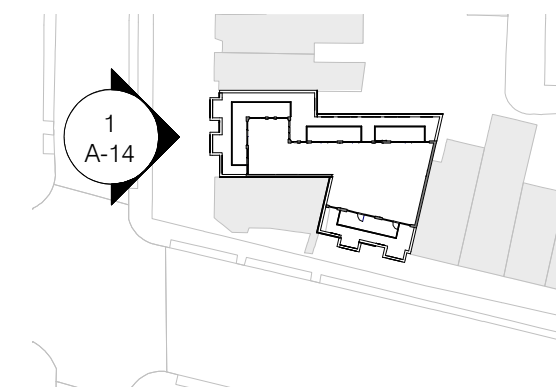
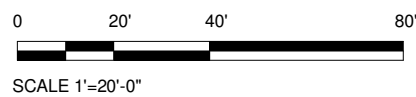
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PERSPECTIVE - AERIAL VIEW | A-13

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KEYPLAN

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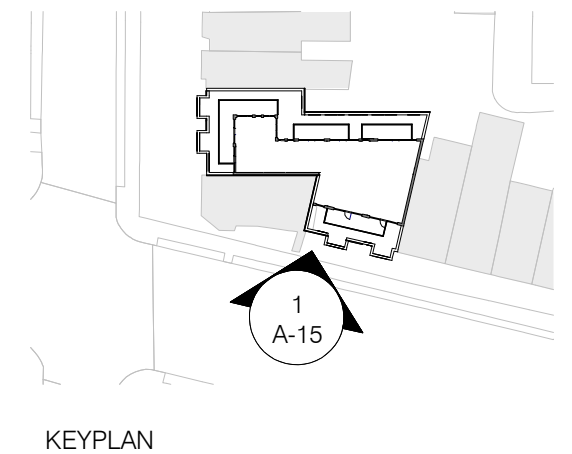
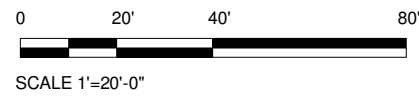
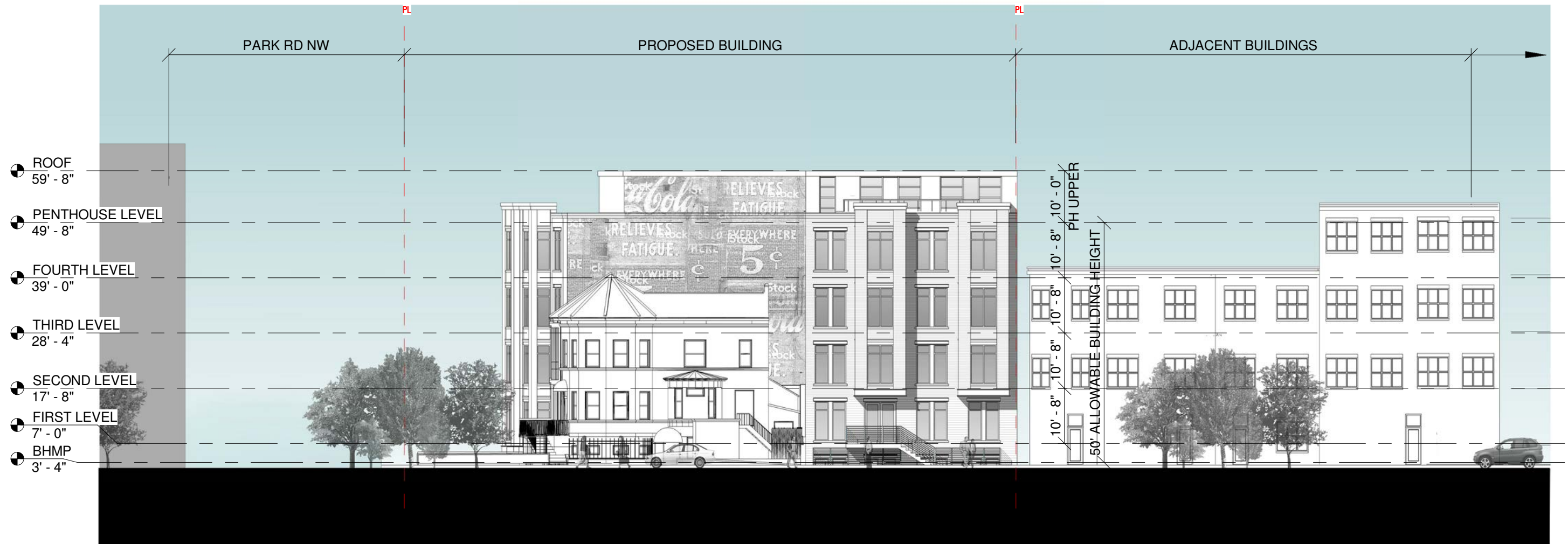
NORTH ELEVATION | A-14

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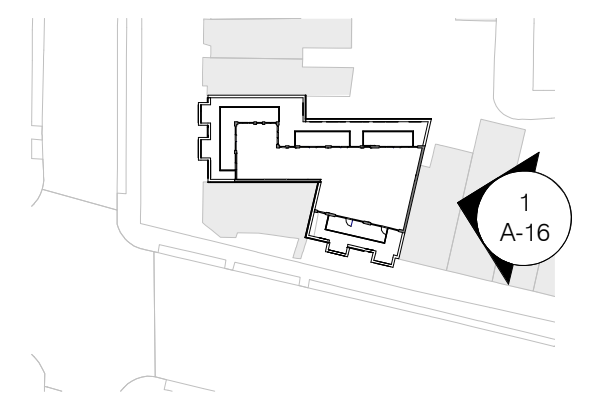
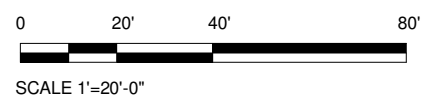
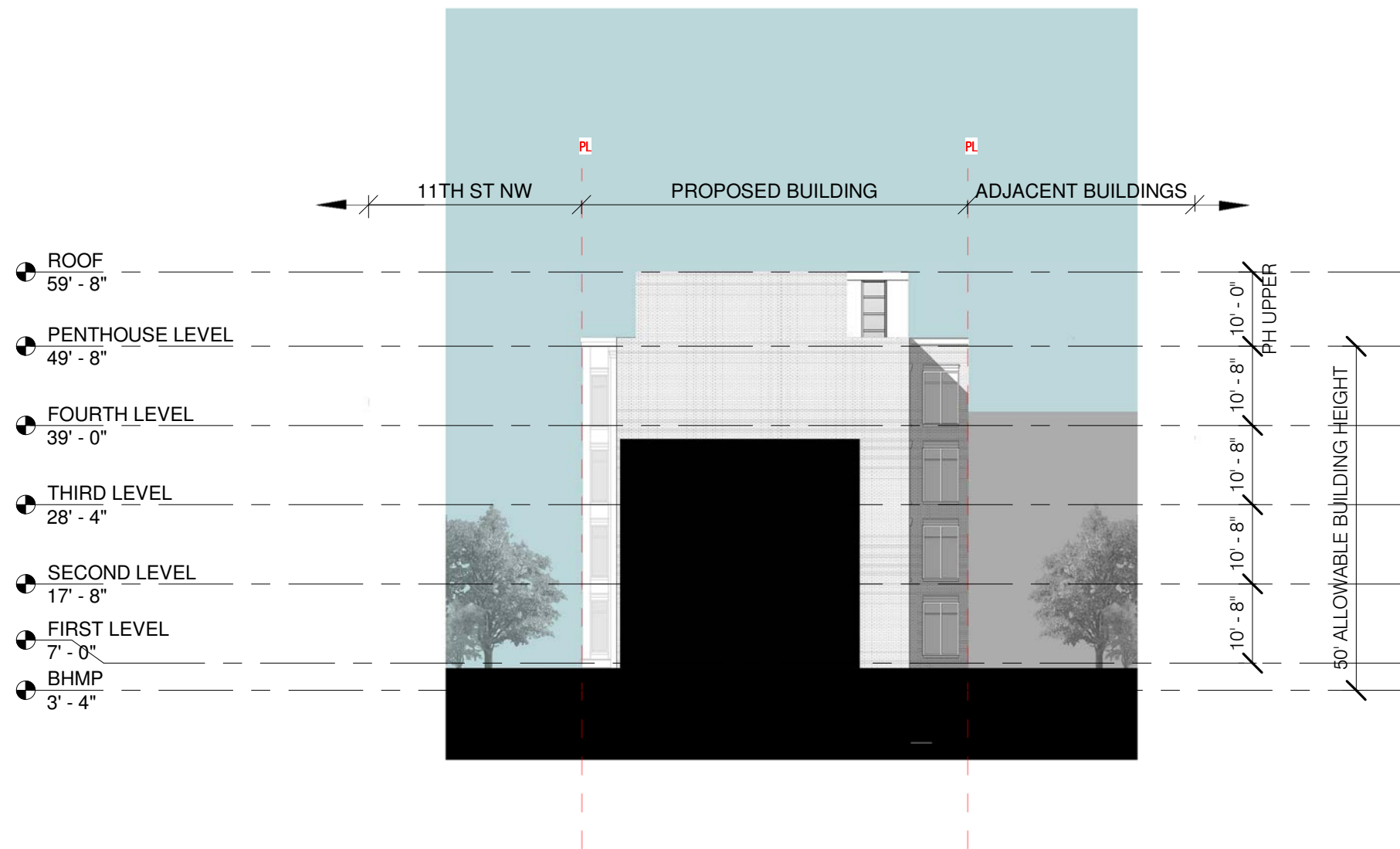
WEST ELEVATION | A-15

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KEYPLAN

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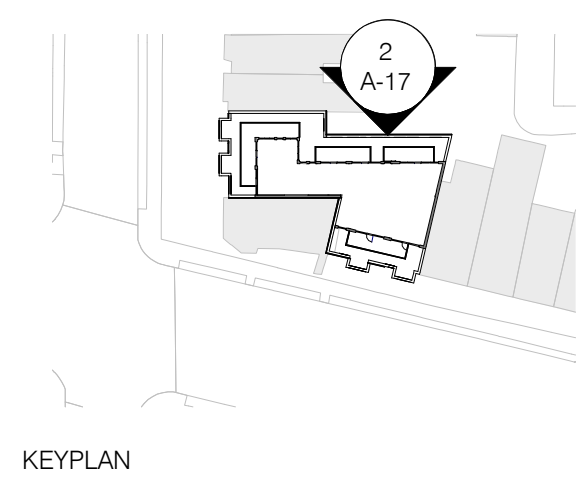
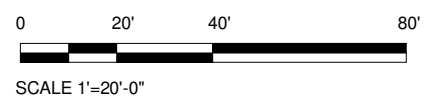
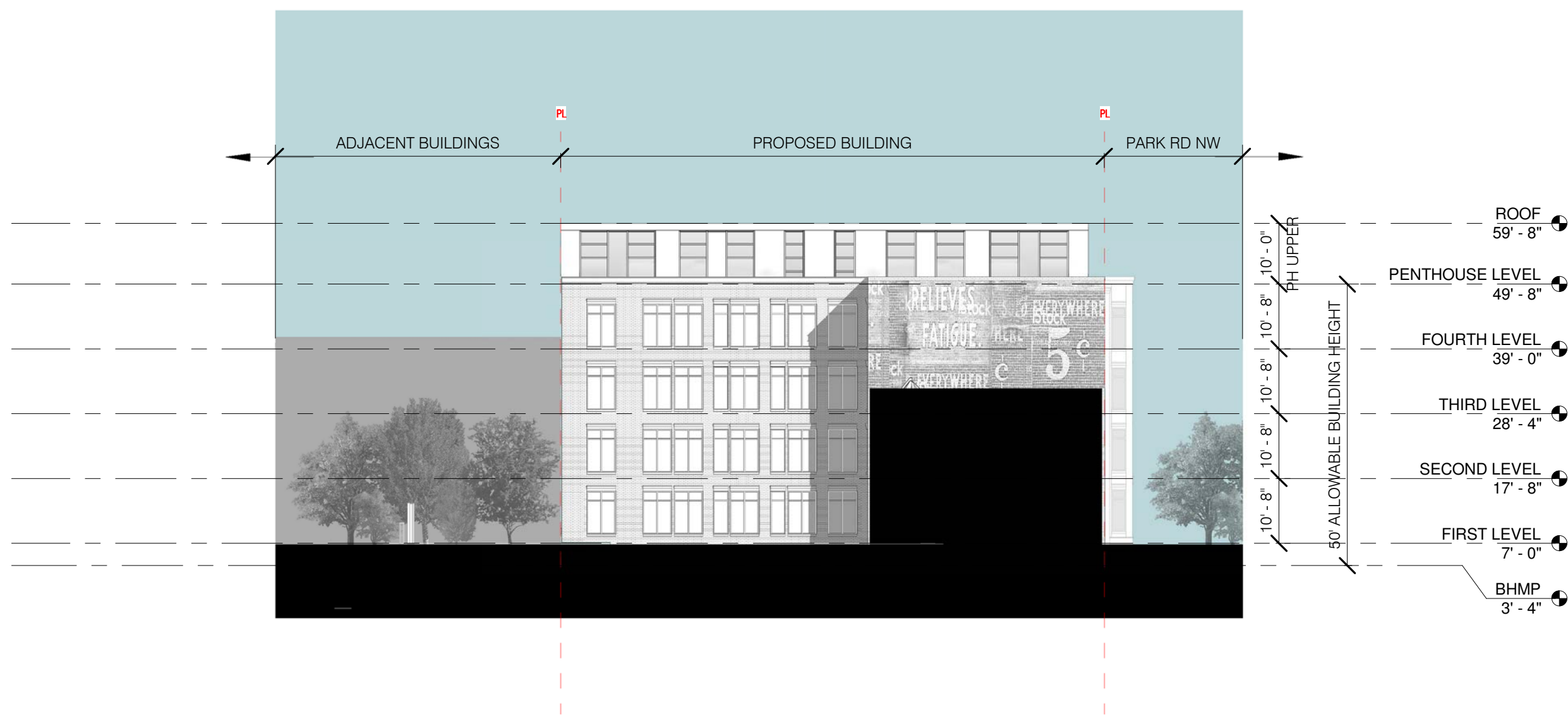
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SOUTH ELEVATION | A-16

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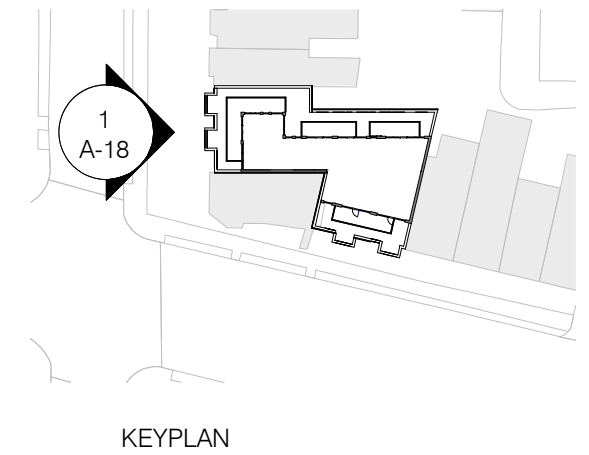
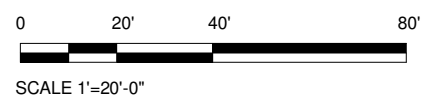
EAST ELEVATION | A-17

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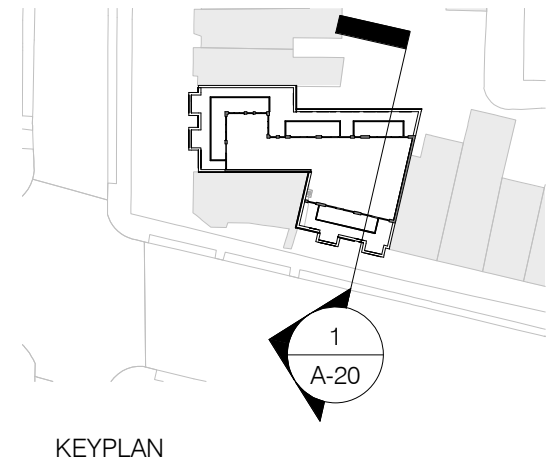
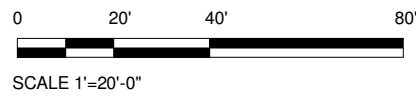
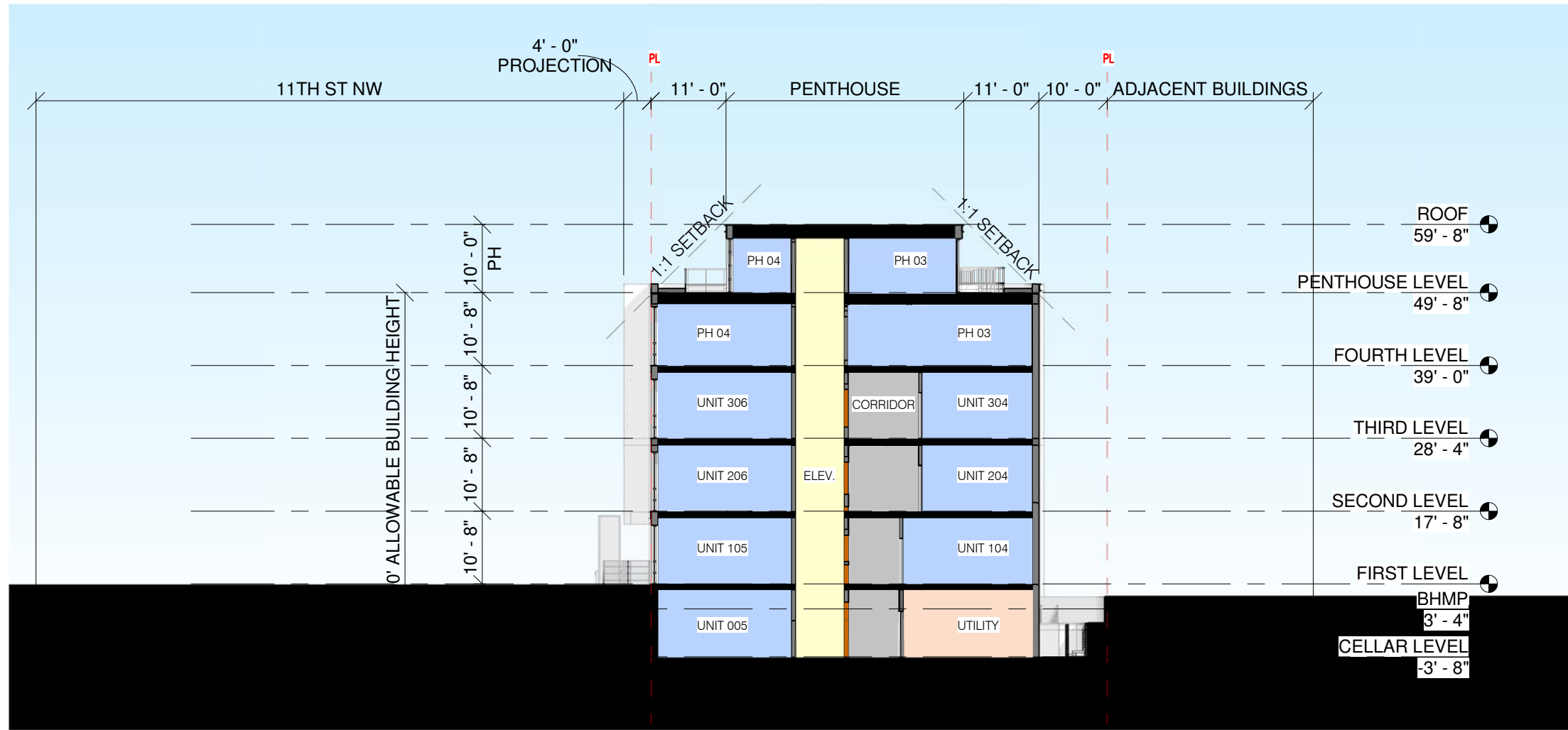
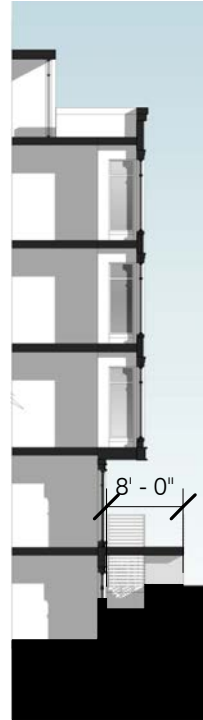
NORTH RENDERED ELEVATION | A-18

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11th STREET & PARK RD.

BUILDING SECTION | A-20

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EXHIBIT B

STEPHEN VARGA, AICP, LEED GREEN ASSOCIATE

Mr. Varga has experience in zoning and land use, sustainability best practice, comprehensive planning, as well as geographic information systems. He is currently Planning Services Director in Cozen O'Connor's Washington, DC office. In this role, he provides qualified expert witness land use and planning testimony before the Board of Zoning Adjustment and Zoning Commission, evaluates development proposals for zoning conformance and entitlement potential, drafts and submits text and map amendments as part of the District's 'Open Call' Comprehensive Plan update, and monitors and researches local government land use policies.



Prior to joining Cozen O'Connor, he served as director of planning services at Griffin, Murphy, Moldenhauer and Wiggins LLP after serving for nearly 10 years as an urban planner within the District of Columbia government.

From 2008-2010, he worked at the District of Columbia Office of Planning, an agency which guides development in the District while implementing preservation, revitalization, and strategic goals. As a development review specialist, he was responsible for reviewing zoning applications and presented agency recommendations at public meetings. Additionally, he served as core team member of Zoning Regulations Review project, a multi-year effort to comprehensively revise and modernize the zoning regulations of the District. He produced zoning recommendation reports and zoning regulation text, particularly for mixed use, transit-oriented development, and sustainability subject areas. This work would eventually become adopted as "ZR16," the new zoning regulations of the District, in effect since September 6, 2016.

From 2011-2016, he served at the District of Columbia Office of Zoning (DCOZ), an agency which provides administrative, professional, and technical assistance to the Zoning Commission and the Board of Zoning Adjustment in support of their oversight and adjudication of zoning matters in the District of Columbia. Upon joining DCOZ, he worked as a zoning specialist, and eventually senior zoning specialist, where he was responsible for communicating complex technical and regulatory information to a wide range of stakeholders, including applicants, BZA, Advisory Neighborhood Commissions, and the public. In addition to carrying out his explanatory duties, he analyzed and managed hundreds of zoning applications per year, ensuring each complied with applicable procedures and requirements. He also improved the BZA application processes for applicants, and clarified rights and responsibilities for stakeholders, resulting in more-timely and efficient hearings. Additionally, he adapted BZA zoning processes in the Interactive Zoning Information System to conform with ZR16.

Mr. Varga holds a Master's Degree in City & Regional Planning from the Ohio State University. He graduated with a Bachelor of Arts Degree from the Ohio State University.

He has been a member of the American Planning Association since 2003. He earned his American Institute of Certified Planners ("AICP") designation in 2007, and his LEED Green Associate designation in 2010.